

Residential Driveway/Culvert Application

Single Family, Two Family, Agricultural & Conservancy Districts

Community Development Department
9915 39th Avenue
Pleasant Prairie WI 53158
Phone: 262.925.6726
Email: communitydevelopment@pleasantprairiewi.gov

Public Works Department
8600 Green Bay Road
Pleasant Prairie, WI 53158
Phone: 262.925.6700
Email: pwinspection@plprairie.com

PROJECT DETAILS

Address/Location		Subdivision		Tax Parcel Number	
Project Description					
Select One			Select any that apply		
<input type="checkbox"/>	New Driveway		<input type="checkbox"/>	New Culvert	
<input type="checkbox"/>	Replace/Repair/Enlarge Existing Driveway		<input type="checkbox"/>	Replace/Repair Existing Culvert	
Number of driveway connections to the street? <i>If more than one driveway connection is proposed see Driveway Requirements for additional regulations.</i>					
Does the driveway connect to a State or County Highway? <i>*If yes, a permit from Wisconsin Department of Transportation or Kenosha County Public Works (as applicable) is required to be submitted with this application.</i>			<input type="checkbox"/>	Yes	<input type="checkbox"/>
Does the driveway connect to a street with curb and gutter? <i>If no, then the Public Works Department will determine if a new culvert or a modification to an existing culvert is required for a driveway connection to a Village road. Culverts/culvert modifications are installed by the Village Public Works Department and actual costs (time and materials) are invoiced to the property owner.</i>			<input type="checkbox"/>	Yes	<input type="checkbox"/>
Is the public street curb proposed to be cut?			<input type="checkbox"/>	Yes*	<input type="checkbox"/>
Is the public street curb and gutter proposed to be removed and re-poured?			<input type="checkbox"/>	Yes*	<input type="checkbox"/>
Is there a public sidewalk adjacent to the street that is proposed to be altered?			<input type="checkbox"/>	Yes*	<input type="checkbox"/>
<i>*If yes, the Contractor shall be approved by the Village Public Works Department, obtain a Sidewalk Contractor License, if applicable, and obtain a Village Work in the Right-of-way Permit.</i>					
Driveway material within first 4 feet from edge of the road (check one):					
<input type="checkbox"/>	Asphalt	<input type="checkbox"/>	Crushed Stone/Gravel	<input type="checkbox"/>	Concrete (only allowed if connecting to a street with curb and gutter)
Driveway material beyond 4 feet from edge of the road and on private property (check one):					
<input type="checkbox"/>	Asphalt	<input type="checkbox"/>	Crushed Stone/Gravel		
<input type="checkbox"/>	Concrete	<input type="checkbox"/>	Other material		
Estimated Construction Cost			Estimated Completion Date		

MINIMUM SUBMITTALS See Driveway Requirements

<input type="checkbox"/>	Plat of Survey/Site Plan and aerial image showing any easements, location, dimensions, setbacks and proposed materials for the driveway. A plat of survey may be on file and available to download from the Kenosha County Interactive Mapping site.	
<input type="checkbox"/>	Written approval from We Energies for any portion of a driveway proposed to be located within a Utility Easement. Contact: We Energies at 262-763-1044.	<input type="checkbox"/> Written Approval from Architectural Control Committee, if applicable.
<input type="checkbox"/>	Village Work in the Right-of-Way Application, if applicable	<input type="checkbox"/> State or County Permit, if applicable

The Village may require additional information be submitted to ensure that all Village requirements are being met. The Applicant will be contacted, if additional information is required to be submitted.

PERMIT REVIEW, ISSUANCE OF PERMIT

- Permits may require up to 10 business days to process. If during the Village's review of the application, information is missing or additional information is required, the permit will be put on hold until the information is received, then the 10 day review period will start again. The Applicant will be contacted when the permit is ready to be issued with total permit fees due and permit conditions.
- Any culvert within a Village public street will be installed/modified by the Village Public Works Department only. The property owner will be invoiced the actual cost for the installation/modification of the culvert.
- Before digging call Diggers Hotline at 1-800-982-0299 to have all underground utilities marked.

INSPECTIONS

All required inspections shall be scheduled at least 2 business days in advance by calling 262.925.6726 unless otherwise noted on the permit.

REQUIRED SIGNATURES

By submitting this application, I certify that all of the information and attachments submitted are true and correct to the best of my knowledge. I understand that for any work started or completed without proper permits, a triple fee will be charged. I agree that all of the work will be done in accordance with all applicable Village, County, State and Federal codes, ordinance requirements and permit conditions. I also agree to allow the inspection of the premises by the Village's Inspectors during regular business hours.

PROPERTY OWNER	CONTRACTOR
	Company Name:
Print Name:	Print Name:
Mailing Address:	Mailing Address:
City/State/ZIP:	City/State/ZIP:
Phone:	Phone:
Email:	Email:

APPLICANTS SIGNATURE: The applicant, either the property owner or the contractor, is responsible to obtain the permit, schedule inspections and ensure compliance with all permit conditions.

Signature	Check one		Date
	<input type="checkbox"/>	Owner	
	<input type="checkbox"/>	Contractor	



Driveway Requirements

Agricultural, Single-Family, Two-Family & Conservancy Districts

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9915 39th Avenue

Pleasant Prairie WI 53158

Phone: 262.925.6726

Email: communitydevelopment@pleasantprairiewi.gov

Public Works Department

8600 Green Bay Road

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GENERAL REQUIREMENTS

Pursuant to Article VII of Chapter 420 of the Village Zoning Ordinance no person shall installed, altered, changed, replaced, or extended a driveway within any agricultural, single family, two family or conservancy district unless a valid permit has first been issued. Below are the requirements for driveways including driveway approaches in the road right-of-way and requirements on private property.

WORK WITHIN A COUNTY OR STATE HIGHWAY RIGHT-OF-WAY

- **State Truck Highway (STH):** If the driveway connects to a STH a permit from the Wisconsin Department of Transportation is required and shall be submitted with this application. Contact Phone Number: 262-548-5891
- **County Trunk Highway (CTH):** If the driveway connects to a CTH a permit from Kenosha County Public Works Department is required and shall be submitted with this application. Contact Phone Number: 262-857-1870.

WORK WITHIN A VILLAGE RIGHT-OF-WAY INCLUDING A DRIVEWAY APPROACH

See specific requirements below and detailed specifications **attached** (Details RD-9, RD-12, RD-13 and RD-17) for driveway and sidewalk requirements within a Village right-of-way. For specific questions regarding these requirements contact the Village Public Works Department at 262.925.6700.

Village Urban Roadway (curb and gutter) requirements:

- The only type of improved surface that connects a private drive to this type of public street is either asphaltic cement or concrete cement.
- The width of a driveway between the street pavement and the property line shall be a minimum of 12 feet and a maximum of 24 feet; however, a maximum radius of three feet is allowed where the driveway meets the street edge. In no case shall a driveway extend into the right-of-way so as to cross the extension of the side property line unless approved by the Public Works Director.
- **Curb cuts:** The Public Works Department may allow for a vertical or mountable curb to be cut in accordance with the following:
 - ✓ Contractor shall be prequalified with the Public Works Department. Contact Public Works at 262.925.6700 with any questions or to become a prequalified contractor.
 - ✓ The permitted method of cutting a mountable or vertical faced curb is with a high-speed, water-cooled concrete saw. No hand sawing is allowed.
 - ✓ Curbs may be removed in sections (typically 10 feet long) and repoured as driveway approaches to the nearest joint.
 - ✓ Mountable and vertical curbs may be cut or repoured with a back that is 1½ inch higher at the house side than the pan of the curb
 - ✓ Curb to the joint with the street shall be 1.33°
 - ✓ **Indemnification:** Every person, party, firm or corporation engaged in the business of constructing, modifying, destroying, removing or repairing curbs and gutters shall indemnify the Village for any damages to or obstructions of the public right-of-way, including but not limited to the public sanitary sewers, storm sewers, municipal water mains and services, and street improvements located within the public right-of-way.

Required Inspections for curb cuts: An inspection shall be performed by the Department of Public Works prior to the commencement of work. An inspection shall be performed after work has been completed.

Village Rural Roadway (no curb and gutter) requirements:

- Village Public Works will determine if a driveway culvert is required.
- If required, all driveway culverts within a Village right-of-way shall be installed by the Village. The actual cost for installation of a driveway culvert, including labor, materials and equipment, will be charged to the property owner upon completion of the installation. If not paid when due, the invoice is placed on the next succeeding tax roll, along with interest and penalty.
- The only improved surface from the edge of the road and extending four (4) feet towards the private property is allow to be either asphaltic cement or No. 2 crushed limestone, compacted with screenings.

The width of a driveway between the paved or gravel street edge and the property line shall be a minimum of 12 feet and a maximum of 24 feet; however, a maximum radius of three feet is allowed where the driveway meets the street edge. In no case shall a driveway extend into the right-of-way so as to cross the extension of the side property line unless approved by the Director of Public Works.

Village Public Sidewalks requirements:

Contractor shall be prequalified and obtain a Village Sidewalk Contractor License from the Public Works Department to install a new public sidewalk or repair/replace a public sidewalk. In addition, a Village Work in the Right-of-Way permit is also required. Contact Public Works at 262.925.6700 with any questions or to become a prequalified contractor.

REQUIREMENTS FOR DRIVEWAYS ON PRIVATE PROPERTY

- **Driveway Width:** The minimum width of a driveway shall be 12 feet and shall not exceed 24 feet in width at the property line. The driveway may be wider after crossing the property line.
- **Driveway Setback:** Driveways shall be a minimum of 5 feet from the side or rear property line, and a minimum of 10 feet from wetlands on said property except as may be provided in the exceptions below:

The Village Zoning Administrator may allow for encroachment into the required 5-foot setback in the following instances:

- Extension of a nonconforming driveway.
- Installation of a driveway that cannot meet said requirements if there is no garage on said lot and if an attached garage cannot be constructed and a detached garage must be constructed in the rear of the property.
- Environmental or drainage problems prevent the meeting of this requirement.

Encroachment into the setback may be allowed only if the following conditions are satisfied:

- Proper drainage is provided so as not to cause a drainage problem on said property or adjacent properties;
- An area for snow removal and snow storage is provided; and
- Any other requirements deemed necessary by the Village to ensure that public health, safety and welfare are not compromised.

- **Location of driveway in relation to intersections:**

No direct driveway access shall be permitted within **150 feet, as measured from the center line of the roadway to the center line of the driveway, of any County, State or Village arterial roadway intersection**, except where existing platted residential lots have insufficient frontage to meet this requirement, then the driveway shall be placed as far from the intersection as practically possible.

No direct driveway access shall be permitted within **100 feet, as measured from the center line of the roadway to the center line of the driveway, of all other Village public or private road intersections**, except where existing platted residential lots have insufficient frontage to meet this requirement, then the driveway shall be placed as far from the intersection as practically possible.

- **Number of driveway connections to roadways:**

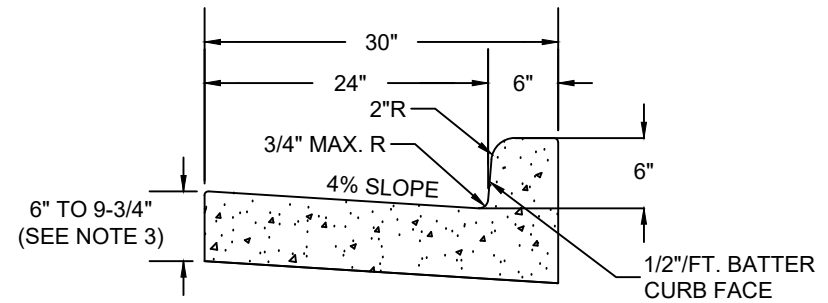
One driveway shall be allowed onto a State, County or Village arterial roadway, except farm access points may be approved by the County, State or Village Zoning Administrator for their respective roadway jurisdiction, provided that all other Village driveway requirements are satisfied.

Two driveway may be allowed on non-arterial Village public or private roadways, provided that the distance as measured from the center line to the center line of each driveway is a minimum of 55 feet and all other driveway requirements are satisfied.

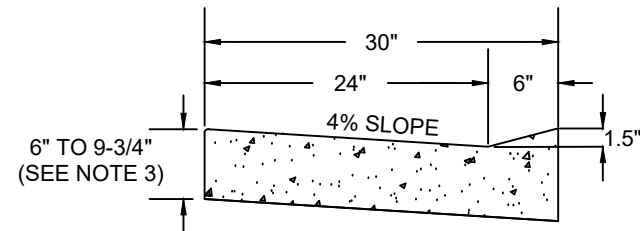
- **Shared driveway access** may be allowed as long as the underlying district minimum lots widths are maintained. The shared driveway entrance shall not cross property lines at the right-of-way. If a shared driveway access is approved, an easement and maintenance agreement shall be prepared by the property owner, approved by the Village and recorded at the owner's expense at the Kenosha County Register of Deeds office.
- **Driveways are not allowed within any easements** that may be located on the property; except for any easements that is parallel to the street property line; wherein a driveway is required to cross said easement to gain access to the property.
 - ***If the easement that is parallel to the street is a Utility Easement contact We Energies at 262-763-1044 for written approval.***
 - ***If the easement that is parallel to the street is within any Public Water, Sanitary, Storm Water/Drainage Easement or any other Village Easements additional approvals may be required based on the specific provisions of the particular easement as part of the permit review process.*** The Village may impose additional requirements or deny such requests for any reason in which the Village deems the fence to interfere with the easement purpose and use, or not be in the best interest of the Village or the public.
- **Compliance with any recorded deed restrictions, declarations and restrictive covenants** recorded on the property. Approval from the property's active Homeowners Association shall be provided in writing to the Village with the application.
- Pursuant to Section 420-49 E (2) of the Village Zoning Ordinance, recreational vehicles are permitted to be stored or parked outside in the side yard or rear yard, provided that it is no closer than 5 feet to the lot line. Such vehicles shall be screened from adjacent properties and public view with a solid six-foot-high wooden fence pursuant to the Village Fence Requirements (permit required for a fence). In addition, no more than two recreational vehicles may be parked in the side or rear yard outside of an enclosed structure, except a single trailer that can accommodate additional vehicles, then up to 4 snowmobiles, off-road vehicles, minibikes, or motorized bikes shall be considered 1 recreational vehicle, provided that the vehicles are stored on the trailer.
- Pursuant to Section 420-49 D of the Village Zoning Ordinance, semi-trucks, semitrailers and cabs, delivery vans, and specialized construction equipment and vehicles; such as, but not limited to, backhoes, bulldozers, and dump trucks or other vehicles used for business or commercial purposes, including retailing and wholesaling, are not permitted to be parked or stored on this property.

NOTES:

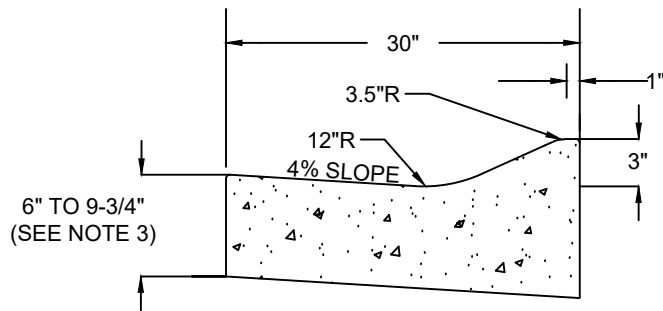
1. DAMAGED CURB / GUTTER SECTIONS SHALL BE REMOVED TO THE NEAREST JOINT.
2. CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
3. WHERE ADJACENT PAVEMENT SECTION CONTAINS CONCRETE THE GUTTER THICKNESS SHALL EXTEND TO THE BOTTOM OF THE ADJACENT CONCRETE PAVEMENT. CURB AND GUTTER SHALL BE TIED INTO ADJACENT CONCRETE PAVEMENT WITH #4 X 2'0" LONG TIE BARS AT 3' SPACING.



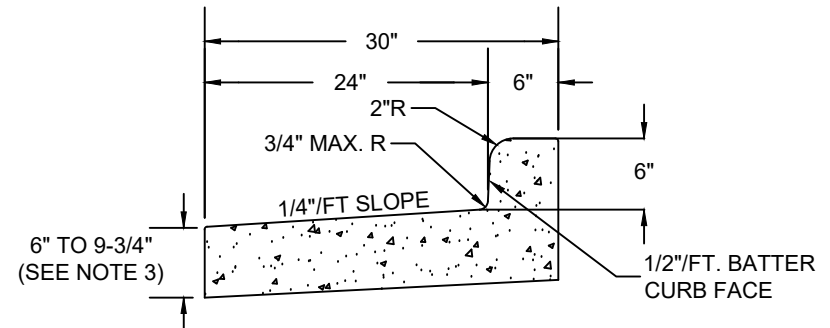
30" VERTICAL FACE CURB AND GUTTER



30" DEPRESSED CURB AND GUTTER AT DRIVEWAYS



30" MOUNTABLE CURB AND GUTTER



**30" VERTICAL FACE CURB AND GUTTER
(REVERSE SLOPE GUTTER)**

SCALE: NTS

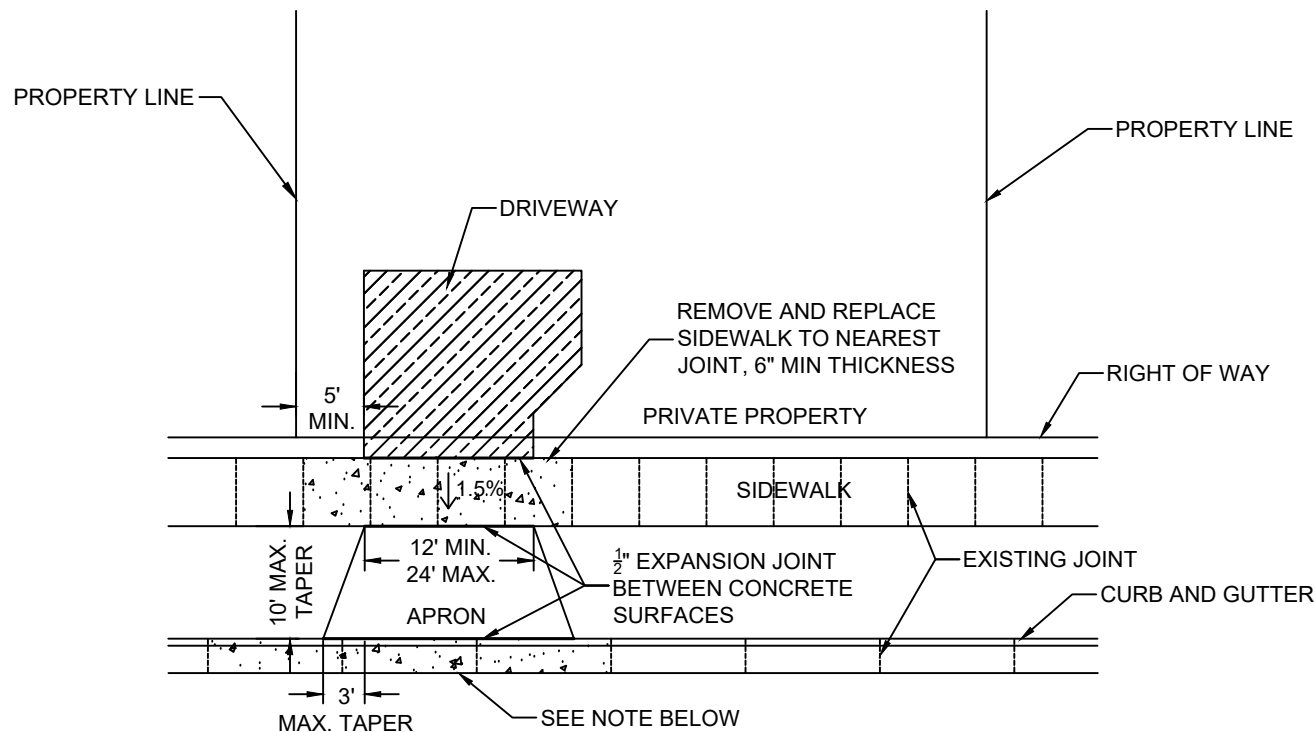
STANDARD CURB & GUTTER DETAILS

DETAIL: RD - 9

DATE: 6-5-20

APPROVED BY: MATT FINEOUR

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN



NOTES:

1. DRIVEWAY APRONS SHALL BE CONCRETE IF INSTALLED ADJACENT TO SIDEWALK. EXISTING SIDEWALK AT DRIVEWAY CROSSINGS SHALL BE REMOVED AND REPLACED TO THE NEAREST JOINT.
2. EXISTING VERTICAL FACE CURB AND GUTTER SHALL BE REMOVED AND REPLACED WITH DEPRESSED CURB HEAD OR THE CURB HEAD REMOVED BY SAWCUTTING. EXISTING MOUNTABLE CURB AND GUTTER AT DRIVEWAYS SHALL REMAIN UNLESS SAWCUTTING OF THE CURB HEAD IS PERMITTED BY THE VILLAGE. SAWCUTTING OF CURB HEAD REQUIRES APPROVAL OF A WORK IN THE RIGHT OF WAY PERMIT ISSUED BY THE VILLAGE. DAMAGED CURB / GUTTER MAY NOT BE SAWCUT. SEE DETAIL RD-9 FOR REMOVING AND REPLACING CURB AND GUTTER AND RD-17 FOR SAWCUTTING CURB HEAD.
3. 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE SHOWN IF CONCRETE SURFACE IS ON BOTH SIDES OF THE PROPOSED JOINT.
4. SIDEWALK AND CURB AND GUTTER JOINT SPACING SHALL MATCH ADJACENT.
5. MINIMUM DRIVEWAY AND SIDEWALK PAVEMENT THICKNESS WITHIN THE RIGHT OF WAY SHALL BE AS FOLLOWS:
 -CONCRETE DRIVEWAY AND SIDEWALK AT DRIVEWAY CROSSING SHALL BE 6" CONCRETE ON 6" GRAVEL BASE. SIDEWALK BEYOND THE DRIVEWAY LIMITS SHALL BE 5" CONCRETE ON 4" GRAVEL BASE.
 -ASPHALT SHALL BE 3" ASPHALT PAVEMENT ON 8" GRAVEL BASE.
 -GRAVEL SHALL BE 11".
 -BRICK SHALL HAVE A 8" GRAVEL BASE.
6. DRIVEWAY WITHIN THE RIGHT OF WAY SHALL BE PERPENDICULAR TO THE ROADWAY CENTERLINE UNLESS OTHERWISE APPROVED BY THE VILLAGE.
7. IF THE VILLAGE NEEDS TO REMOVE AND REPLACE THE DRIVEWAY OR APRON WITHIN THE RIGHT OF WAY THE VILLAGE WILL REPLACE THE DRIVEWAY AND/OR APRON WITH BROOM FINISHED CONCRETE, ASPHALT OR GRAVEL REGARDLESS OF THE EXISTING SURFACE (E.G., BRICK PAVERS, STAMPED CONCRETE, COLORED CONCRETE.)

SCALE: NTS

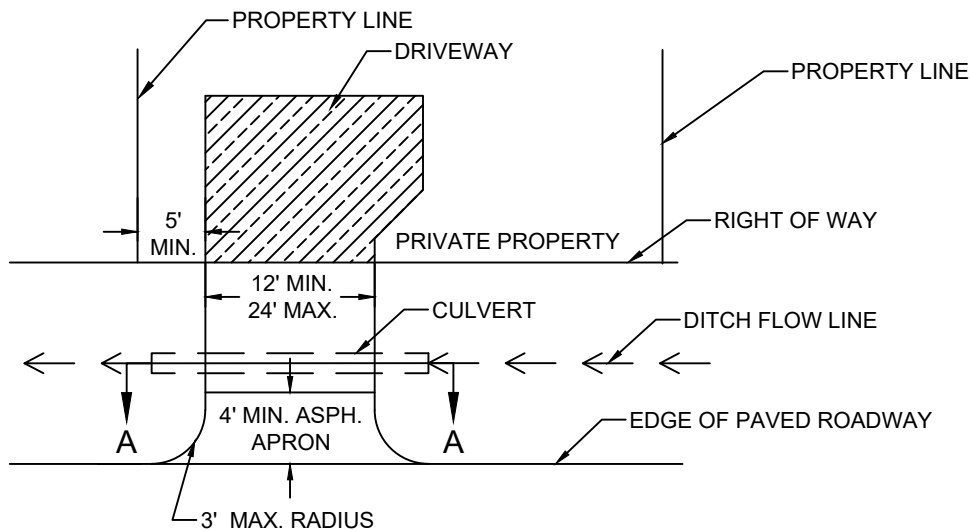
DRIVEWAY DETAIL - URBAN ROADWAY

DETAIL: RD - 12

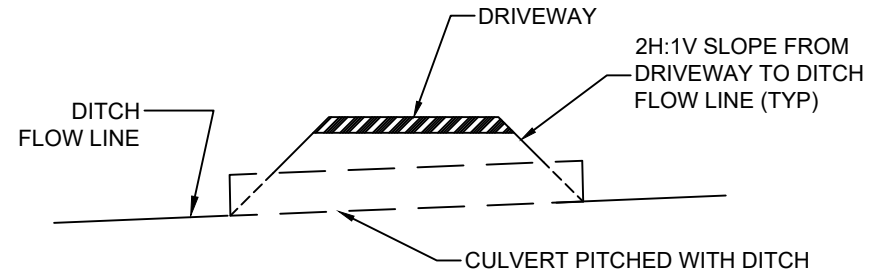
DATE: 6-5-20

APPROVED BY: MATT FINEOUR

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN



RURAL DRIVEWAY DETAIL



CULVERT SECTION A-A

NOTES:

1. A MINIMUM OF A 4' WIDE ASPHALT APRON SHALL BE INSTALLED ADJACENT TO THE EXISTING ROADWAY. MINIMUM PAVEMENT THICKNESS(S) WITHIN RIGHT OF WAY SHALL BE AS FOLLOWS:
 -ASPHALT APRON AND DRIVEWAY SHALL BE 3" ASPHALT PAVEMENT ON 8" GRAVEL BASE.
 -CONCRETE SHALL BE 6" CONCRETE ON 6" GRAVEL BASE.
 -GRAVEL SHALL BE 11".
 -BRICK SHALL HAVE A 8" GRAVEL BASE.
2. LANDSCAPING WALLS, RETAINING WALLS, HEADWALLS, ETC. SHALL NOT BE INSTALLED WITHIN THE RIGHT OF WAY. ONLY LAWN SURFACES ARE ALLOWED BEYOND THE DRIVEWAY LIMITS. LAWN GRADE SHALL BE A UNIFORM SLOPE FROM THE EDGE OF DRIVEWAY TO THE END OF THE CULVERT.
3. DRIVEWAY WITHIN THE RIGHT OF WAY SHALL BE PERPENDICULAR TO THE ROADWAY CENTERLINE UNLESS OTHERWISE APPROVED BY THE VILLAGE.
4. CULVERT DIAMETER SHALL BE NOT BE LESS THAN 12" OR THE DIAMETER OF THE UPSTREAM CULVERT. LARGER DIAMETER CULVERTS MAY BE REQUIRED IF DETERMINED BY THE VILLAGE.
5. CULVERT LENGTH SHALL NOT EXTEND BEYOND WHAT IS NECESSARY; DRIVEWAY WIDTH + 2H:1V SIDE SLOPES.
6. IF THE VILLAGE NEEDS TO REMOVE AND REPLACE THE DRIVEWAY OR APRON WITHIN THE RIGHT OF WAY THE VILLAGE WILL REPLACE THE DRIVEWAY AND/OR APRON WITH ASPHALT OR GRAVEL REGARDLESS OF THE EXISTING SURFACE (E.G., CONCRETE, BRICK PAVERS, STAMPED CONCRETE, COLORED CONCRETE.)

SCALE: NTS

DRIVEWAY AND CULVERT DETAIL - RURAL ROADWAY

DETAIL: RD - 13

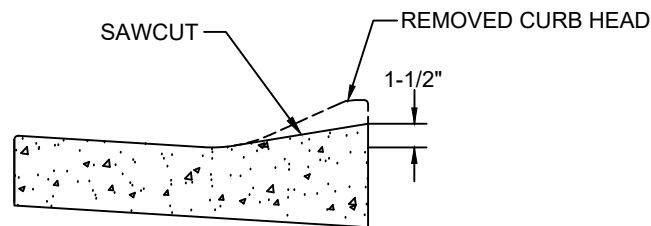
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APPROVED BY: MATT FINEOUR

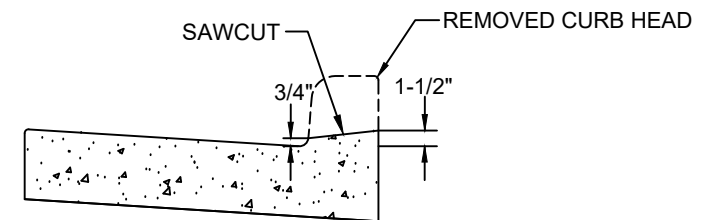
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN

NOTES:

1. REMOVING THE CURB HEAD BY SAWCUTTING REQUIRES APPROVAL FROM THE VILLAGE PUBLIC WORKS DEPARTMENT.
2. DAMAGED SECTIONS SHALL BE BE REMOVED AND REPLACED TO THE NEAREST JOINT. DAMAGED CURB / GUTTER SECTIONS SHALL NOT BE SAWCUT. SEE DETAIL RD-9 FOR REPLACEMENT OF CURB AND GUTTER.
3. SAWCUTTING OF THE EXISTING CURB SHALL BE MADE BY A SAW SPECIFICALLY MADE FOR THAT PURPOSE. USE OF A HANDHELD CONCRETE SAW TO REMOVE THE CURB HEAD IS NOT PERMITTED.



MOUNTABLE CURB AND GUTTER



VERTICAL FACE CURB AND GUTTER

SCALE: NTS

CURB HEAD SAWCUT DETAIL

DETAIL: RD - 17

DATE: 6-4-20

APPROVED BY: MATT FINEOUR

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN